

GOVERNMENT OF WEST BENGAL
OFFICE OF THE SUPERINTENDING ENGINEER
WEST CIRCLE, HOUSING DIRECTORATE
(ERSTWHILE HOUSING CONSTRUCTION CIRCLE NO. II)
PURTA BHAVAN (GROUND FLOOR),
P.O-SREE PALLY, PIN-713103
DIST.-BURDWAN
PHONE NO.0342-2646311
E-MAIL-sehcc2@gmail.com

Dated: 25/01/2018

## Memo No. <u>105/1W - 372</u>

 $4^{th}$  Corrigendum to e-NIT No. 14 of 2017-18 vide Memo No. 03/1W-372 Dated 02/01/2018 of the Superintending Engineer, West Circle, Housing Directorate (erstwhile Housing Construction Circle No. II).

TENDER REFERENCE NO.:- WBHOUSING/SE/HCC-II/e-NIT-14/2017-2018

Tender ID :- Tender ID :- 2018\_HSD\_146449\_1

Name of work : - Construction of 5664 nos. of flat alongwith other amenities, at Dakshinkhanda Mouza at Andal (BAPL Land) in Raniganj Area, Asansol under R.C.F.A. project at Raniganj.

Sl.	Description	In Place of	Please Read As
No.			
1	Tower crane up to 25 m (G+4) height (Page No. 45, Clause 2.5 Sl. No.3) & Page No. 52, Form 4	4 nos.	Deleted
2	Construction elevator (Page No. 45, Clause 2.5 Sl. No.4) & Page No. 52, Form 4	12 nos.	Deleted
3	Concrete pump (Page No. 45, Clause 2.5 Sl. No.9) & Page No. 52, Form 4	12 nos.	6 nos.
4	Additional Equipment	Nil	Mini Batching Plant 30 cum per hour for concrete work as & when required (optional) Minimum 2 (two) nos. each site. (Page No. 45, Clause 2.5 Sl. No.12)
5	Page No. 45, Clause 2.5	The bidder shall provide further details of proposed items of equipment using the relevant form in Section 4 (Bidding Forms).	Deleted
		The bidder is to provide their own estimate of the number of equipment, commensurate with their work plan and methodology.	Deleted

Sl. No.	Description	In Place of	Please Read As
6 6	Bid Prices and Discounts (Page No. 3, Sl. No. 9) of 1 <sup>st</sup> Corrigendum)	All duties, taxes including GST and other levies payable by the Selected Bidder	The Rate Shall be quoted upto 2 (two) decimal point in Figure & words.  All duties, taxes including GST and other levies payable by the Selected Bidder earlier payable In other words, the Selected Bidder will not be paid anything more than the Financial Bid, which is all inclusive. However, the Employer will assist (on a no recourse basis and in good faith claims or eligibility of the Selected Bidder.  Variation of GST or any other Tax to be allowed after approval of Finance Department, Govt. of West Bengal.
7	Form FIN-1 : Financial Situation (Page No. 70 Form 17 Remain unchanged) Additional Note added		Note:- During last 5 (five) years ending 31.03.2017, the Firm should have no loss at least for 2 (two) years.  (Remain Form 17 unchanged)
8	(Page No. 5, Sl. No. 20) of 1 <sup>st</sup> Corrigendum) Additional Note added	Section 4 Form 22 Calculation of Bid Capacity	Note 3:- If any bidder becomes lowest in the tender of RCFA Project that work value will be treated as work in hand for calculation of bid capacity in respect of subsequent tender. (Remain Form 22 unchanged)
9	OF CONTRACT (GCC) 5.2Contractor's Documents	design, in additions to space and operational needs,	The Contractor shall exclude in the design, in additions to space and operational needs,
10		I. On Completion of Foundation upto plinth beam.  II. On Completion of Ground Floor & First Floor upto 2nd Floor Slab (Concrete work)  II. On Completion of Second Floor, Third Floor upto Mumpty room roof (Concrete works)  IV. Brick work (Ground & 1st Floor)  V. Brick work (2nd & 3rd Floor, 7% Parapet, Stair room) & roof treatment	I. On Completion of Foundation upto plinth level.  II. On Completion of Ground Floor & First Floor upto 2nd Floor Slab (Concrete work)  III. On Completion of Second Floor, Third Floor upto Mumpty room roof (Concrete works)  IV. Brick work (Ground & 1st 7% Floor)  V. Brick work (2nd & 3rd Floor, 7% Parapet, Stair room) & roof treatment

Sl. No.	Description	In Place of		Please Read As	
INU.		VI. Total Internal Plaster & External Plaster with Plinth Protection) VII. Door, Window with internal Grill & Frame VIII Sanitary & Plumbing	9% 14% 8%	VI. Total Internal Plaster & External Plaster & Flooring work with Plinth Protection) VII. Door, Window with all fittings & fixtures with internal Grill & Frame -14%	9%
		including roof Tank IX. External Cement based Paint & Internal White Wash/Colour Wash	2%	VIII Sanitary & Plumbing including roof Tank with supporting concrete slab IX. External Cement based Paint	8%
		X. Internal Electrification Including Fittings & Fixing	2%	& Internal White Wash/Colour Wash X. Internal Electrification Including Fittings & Fixing - 2%	2%
		TOTAL	100%	TOTAL	100%
	Proposed Payment Schedule For Allied Structure	A. School Building On Completion of all Concrete Works upto Roof Level	30%	A. School Building (2 Nos.) i)On Completion of all Concrete Works upto Roof Level	30%
		On Completion of all Brick Work Sanitary Plumbing works, Finish, Internal & External Plaster, Exterior & Interior Paints, etc. all finishes.	30%	ii) On Completion of all Brick Work, flooring work, Sanitary Plumbing works with Fittings & Fixtures Finish, Internal & External Plaster, Exterior & Interior	30%
		On Completion of all internal electrification including Fitting & Fixing	15%	Paints, etc. all finishes iii) On Completion of all internal electrification including Fitting &	15%
		B. Community Hall (2 Nos.) On Completion of all civil & Sanitary Plumbing Works	10%	Fixing B. Community Hall (3 Nos.) i)On Completion of all civil & Sanitary Plumbing Works	10%
		On Completion of all internal electrification including Fitting & Fixing C. Vending Area	3%	ii)On Completion of all internal electrification including Fitting & Fixing C. Vending Area (2 Nos.)	3%
		of all civil & Sanitary Plumbing Works On Completion of all internal electrification including Fitting &	10% 2%	i) On Completion of all civil & Sanitary Plumbing Works ii) On Completion of all internal electrification	10%
		Fixing		including Fitting & Fixing	
		TOTAL	100%	TOTAL	100%
				Note:- Stage payment will be made subject to execution of all items on pro-rate basis upto date stage following the specification of BOQ attached in the tender.	

Sl.	Description	In Place of	Please Read As
No.	2 cocription		Troube reduction
12	Page No.3 Sl. No.8 of 1 <sup>st</sup> Corrigendum	The Financial Bid shall comprise of the Bill of Quantity (BOQ) in the specified format, being the cost for Construction of 3024 nos. of flat alongwith other amenities, in	The Financial Bid shall comprise of the specification given in the BOQ in the specified format inclusive of all taxes and charges.  N.B. – (1) The bidder is to quote the rate online in the space marked for quoting rate in the BOQ.  (2) Only downloaded copies of the above documents are to be uploaded, virus scanned and digitally signed by the bidder.  (3) The rate quoted also include costs of i)buildings including sanitary & plumbing works & electrical works, bidder should accordingly bid for the Project.  (4) Deleted  (5) If any deviation of item is made from original BOQ & specification supplementary tender will be executed following PWD SOR on market rate analysis. The discretion of Engineering-In-Charge is final in this respect.
13	Additional Drawing	NIL	i) Electrical layout Drawing ii) Market Complex structural drawing iii) Plumbing & S&P Layout iv) Sanitary Typical v) Plinth Protection & Surface Drain vi) Sewerage, Drainage & Water Supply Line vii) Over Head Tank
14	Specific Construction Experience Contracts of Similar Size and Nature (Page No.43 Clause 2.3.2)	minimum one big housing project of Rs. 250 Crores or upto three housing project totaling Rs. 250 Crores, out of which 1 (one) shall be of a minimum value of Rs. 100 Crores at any place(s) in India during the last 7 (seven) financial years ending on the last day of the	certificates from clients/end-user for

All other details remain unchanged.

Superintending Engineer, West Circle, Housing Directorate (Erstwhile Housing Construction Circle No. II)

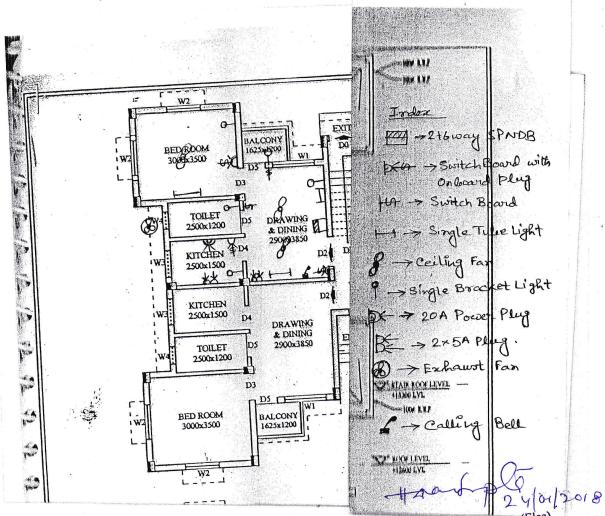
## Memo No. 105/1(22)/1W - 372

Copy forwarded for favour of kind information to the:-

- 1) The Chief Engineer, Housing Directorate (In duplicate).
- 2) The Joint Secretary, Housing Department for display on the Website of Housing Department.
- 3) The Superintending Engineer, Housing Directorate, North Circle / South Circle / Western Circle No. I / II, Eastern Circle / Presidency Circle I & II, P.W.D., Superintending Engineer (Elec.), H&P, Works, PWD.
- 4) The Executive Engineer, Housing Directorate, Siliguri Division/Malda Division/Kolkata South-I/Kolkata South-I/Nadia Division/Burdwan Division/Bankura Division/Midnapore Division/ Electrical Division No. I / II.
- 5) Contractors' Association Branch under certificate of posting.
- 6) Notice Board.
- 7) Estimating Branch of this office for information.

Superintending Engineer, West Circle, Housing Directorate (Erstwhile Housing Construction Circle No. II)

Dated: 25/01/2018



Superintending Engineer (Elec)
Housing & Planning Works (P.W.D.)
Govt. of West Bengal

